

Indigo

Murfreesboro, Tennessee
New South Development LLC

January 16, 2008
SUBMITTAL






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This project is named after the nearby plant called Indigo. The Indigo or Blue Indigo, which has a rich purple color, will be utilized in the open spaces throughout the development.

01.16.08

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Indigo's Vision Statement

Located in the valley side of Middle Tennessee, Indigo is a vibrant, walkable neighborhood designed to enhance the quality of life for its residents. It is a community that is designed to be a place where people want to live, work, play and raise their families. It is a place where they will "want" to live.



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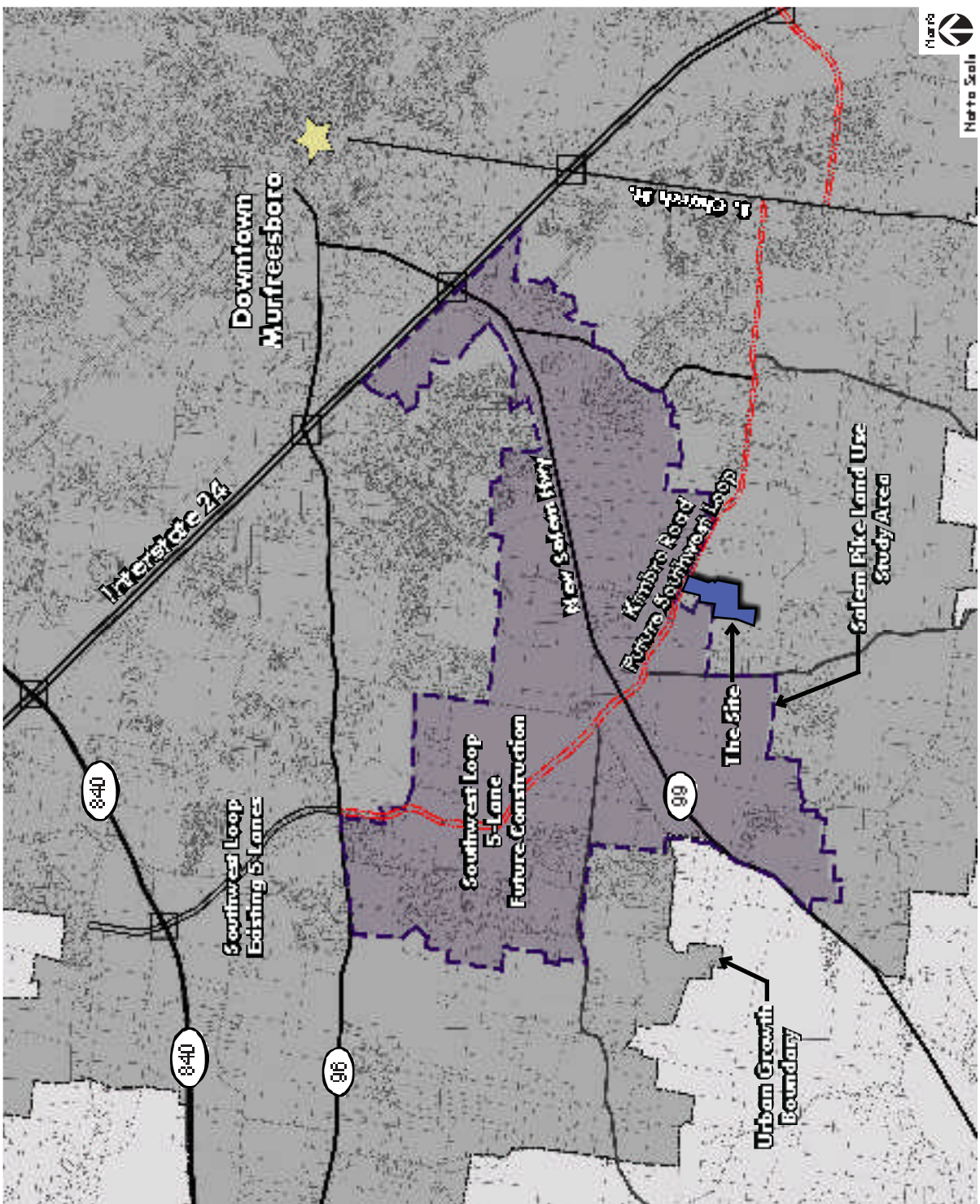
Community Context

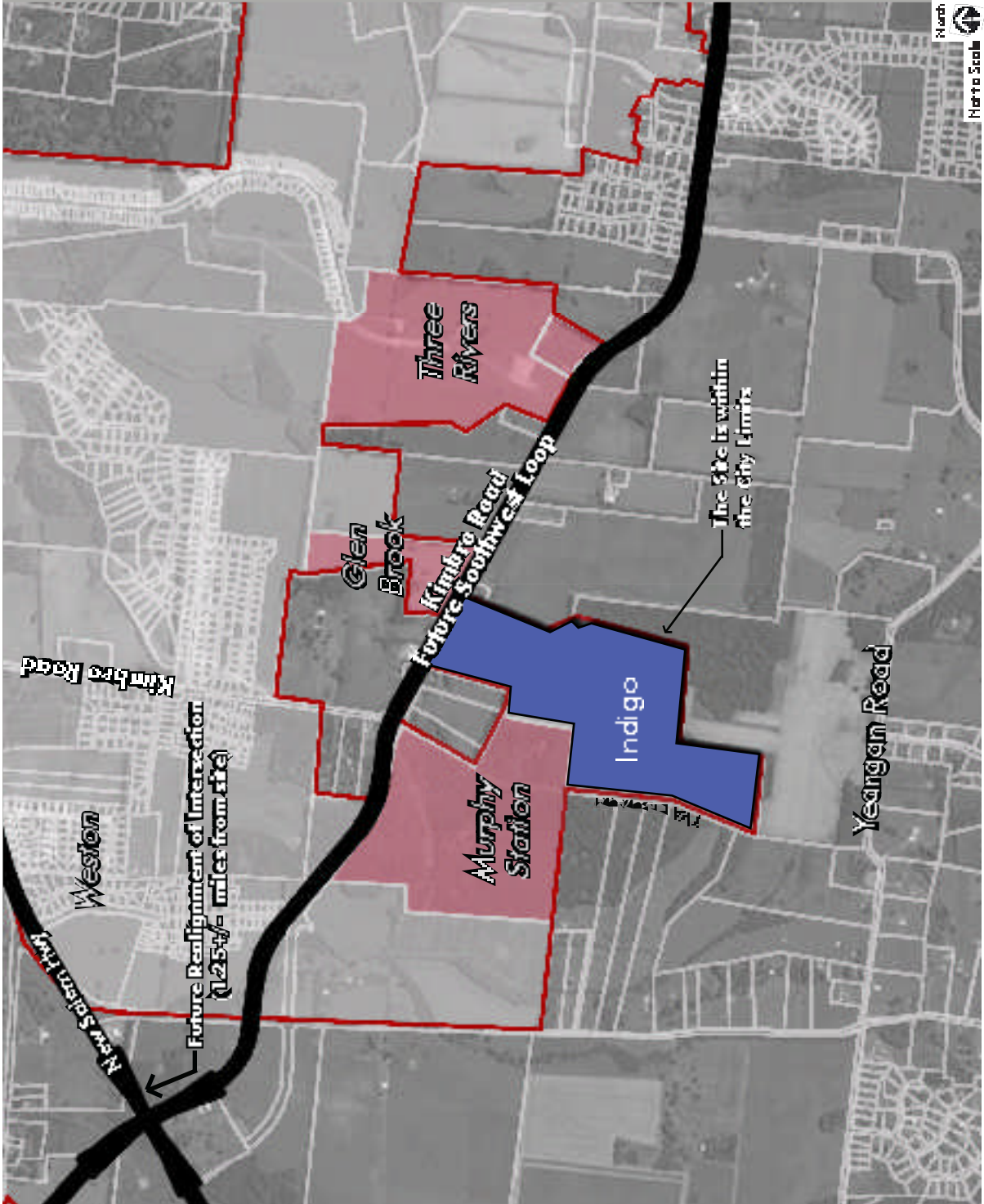
Located approximately 7 miles from the New Salem Light-rail station, the site is bounded by Interstate 24, Downtown Murfreesboro, the Salem Pike Land Use Study Area, and the City of Murfreesboro. The site is bounded by Interstate 24, Downtown Murfreesboro, the Salem Pike Land Use Study Area, and the City of Murfreesboro. The site is bounded by Interstate 24, Downtown Murfreesboro, the Salem Pike Land Use Study Area, and the City of Murfreesboro.

- Salem Pike Land Use Study Area**
- City of Murfreesboro Zoning Ordinance Section 13**
- Interstate 24**
- Downtown Murfreesboro**
- Urban Growth Boundary**
- Southwest Loop Existing 5 Lanes**
- Southwest Loop Future Construction**
- New Salem Hwy**
- Kimbro Road**
- Pondro & Southern Loop**
- The Site**
- Salem Pike Land Use Study Area**

Legend

- Murfreesboro 2018 Urban Growth Solutions
- Salem Pike Land Use Study Area
- Interstate 24





Site Description and Adjacent Properties

Currently, the Indigo site is adjacent to existing landscape site and/or proposed development known as Kimbro Road. It has approximately 350 feet of frontage to the north of the property along Kimbro Road. The adjacent properties are zoned for residential use on the Major Interchange Road. The residential character of the site is not consistent with the surrounding area. It is adjacent to the Southwest Loop.

To the west of the property is the parcel Church Square Park and TMA. Other adjacent properties are at Randall County and located in the City of Redfork and City of Indigo.

The previously proposed site for this site, called Kimbro Place, was a one-family residentially zoned, single-use site. Indigo will take advantage of the site's location with a mixed-use development.

Southwest Loop

The Southwest Loop was approved in 2007, and is currently in the construction phase. The plan for Indigo operations and facilities that are in the immediate vicinity of the Southwest Loop and Interchange Road will include construction to create a new facility.



Southwest Loop Under Construction

Legend

- Murfreesboro City Limits
- City of Murfreesboro
- Randall County
- This Site



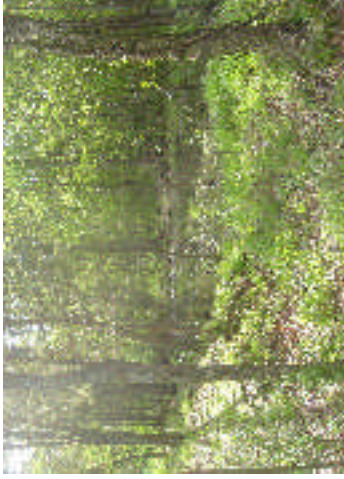
Murfreesboro, Tennessee

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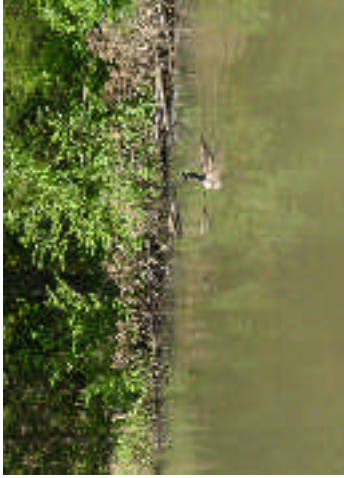
Site Plan for Indigo



Grassy fields with occasional stands of mature trees



Wetlands on site to be preserved



Existing farm pond to be utilized as an amenity

Opportunities & Constraints

The site has an opportunity to incorporate a variety of site amenities, including a wetland, a farm pond, and a small stream. The site also has a creek, a wetland, and a small stream.

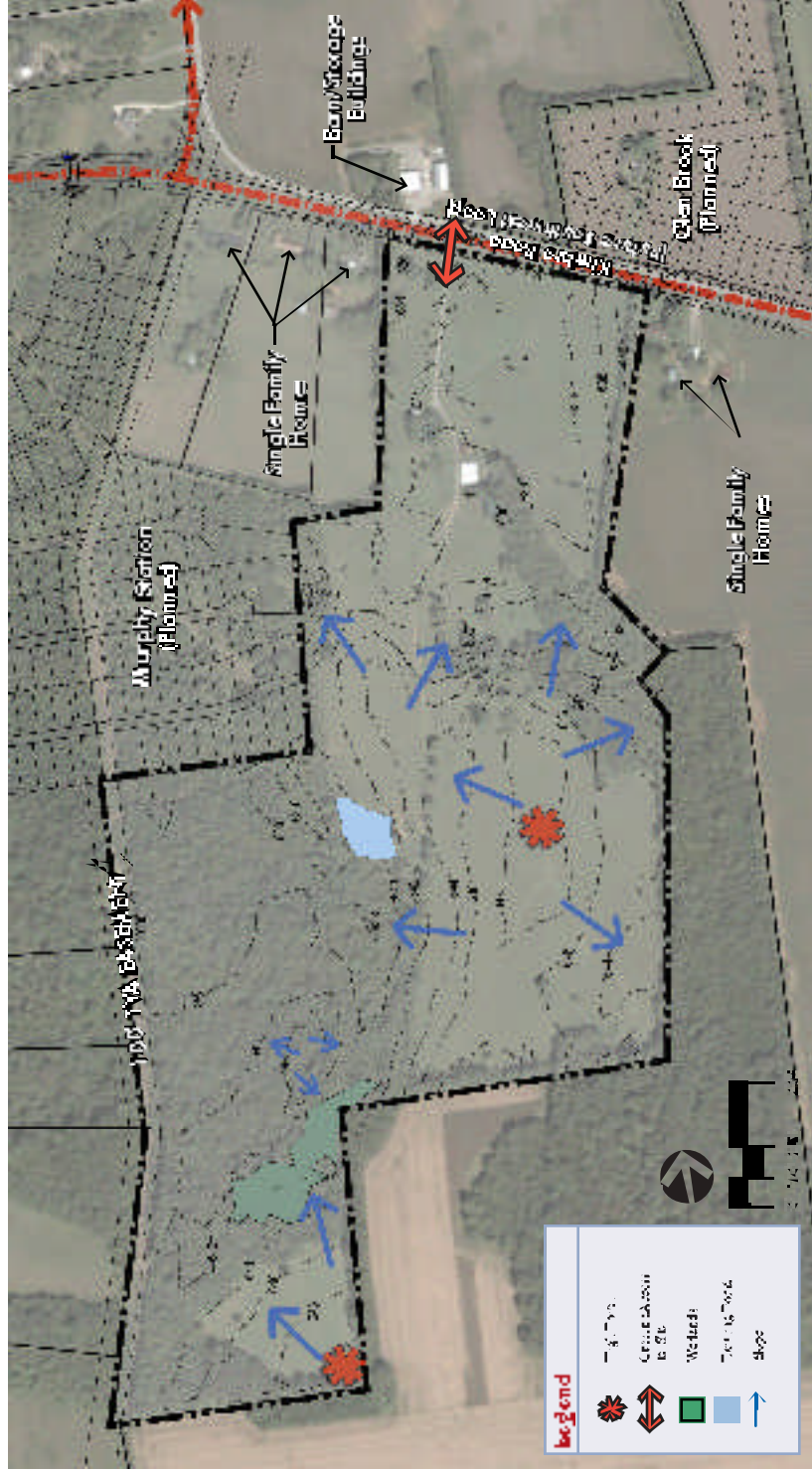
Opportunities include:

- A wetland area that will provide a natural habitat for various species of birds and insects.
- A farm pond that will provide a natural habitat for various species of fish and waterfowl.
- A small stream that will provide a natural habitat for various species of fish and waterfowl.
- A creek that will provide a natural habitat for various species of fish and waterfowl.
- A wetland area that will provide a natural habitat for various species of birds and insects.
- A farm pond that will provide a natural habitat for various species of fish and waterfowl.
- A small stream that will provide a natural habitat for various species of fish and waterfowl.
- A creek that will provide a natural habitat for various species of fish and waterfowl.

Constraints include:

- The presence of a wetland area that will require special permitting and construction techniques.
- The presence of a farm pond that will require special permitting and construction techniques.
- The presence of a small stream that will require special permitting and construction techniques.
- The presence of a creek that will require special permitting and construction techniques.
- The presence of a wetland area that will require special permitting and construction techniques.
- The presence of a farm pond that will require special permitting and construction techniques.
- The presence of a small stream that will require special permitting and construction techniques.
- The presence of a creek that will require special permitting and construction techniques.

Environmental Study
 A preliminary environmental study was conducted to identify potential impacts of the proposed development on the site's natural resources. The study identified several areas of concern, including the wetland area, the farm pond, and the small stream. The study also identified several opportunities for incorporating natural resources into the development, including the wetland area, the farm pond, and the small stream.



Legend

- Property Boundary
- Green Retention
- Wetlands
- Tree Retention
- Grassy



Murphersboro, Tennessee

Infrastructure

Water:
 A 12" water main already exists on Kirby Road at the site. A 30" Water Main is planned on site and located by the Connecticut Utility - State (C.U.S.) on Kirby Road and has been found on site development.

Sanitary Sewer:
 A 12" Sanitary Sewer Line is proposed to be installed near the site. The location of the sanitary sewer line is indicated by the City. As per the Indigo development, a 30" sanitary sewer line is planned on site to serve the site and area adjacent developments.

Drainage:
 The drainage of the site is approximately shown below in the middle, west of the property. Water retains naturally to the west of the site. The site is located on a hillside and will be utilized for stormwater management.

Utilities:

Connections to adjacent undeveloped property are planned via multiple street access points.





Image shows the design quality of the high density residential type



Character image captures the feel of the Village Center



Character image illustrates a residential alley across streetcape

Master Plan

The Master Plan is a strategic road map to this village's future. It provides the opportunity to define the overall vision and a comprehensive set of community goals, objectives and strategies. The plan is a living document that will evolve over time as the community grows and changes. It is a framework for the future and a guide for the present.

Key Objectives of the Master Plan:

- Provide a clear, concise vision for the future
- Establish a set of measurable goals and objectives
- Provide a framework for the future
- Establish a set of strategies to achieve the vision
- Provide a clear, concise vision for the future
- Establish a set of measurable goals and objectives
- Provide a framework for the future
- Establish a set of strategies to achieve the vision

Administrative Commission and Change Guidelines will guide the structural character of the community. These guidelines will shape the village's character and establish a consistent level of quality design for the entire residential project.



Murphy, The Source

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Community Meeting Hall

Land Use Site Data

PROJECT: VILLAGE CENTER
 LOCATION: 10000 BROADWAY
 CITY: MURFREESBORO, TN
 CLIENT: INDIGO PLANNERS & ARCHITECTS, INC.

DATE: 02/07/11
 SCALE: AS SHOWN
 DRAWN BY: J. K. HARRIS
 CHECKED BY: J. K. HARRIS

Development Type	Area (sq. ft.)	Units per Acre	Total Units
High-Density Residential	2,000,000	100	20,000
Medium-Density Residential	2,000,000	50	10,000
Total			30,000

Notes:
 1. The exact number of units per acre will be determined upon submittal of site specific plans but will not exceed the overall maximums and will not be below the minimums (see chart this page).
 2. The number of required parking spaces for all uses will comply with Section 26, Chart 4 of the Murfreesboro Zoning Ordinance. On-street parking may count up to 10% of the parking requirement, except for single family attached and detached homes.

Maximum Units per Acre	100
Minimum Units per Acre	50
Total	150



Murfreesboro, Tennessee

Permitted Uses

Neighborhood Retail

- Art gallery
- Bakery
- Beauty / Barber shop
- Books / cardshop
- Cafe / Restaurant (see max. table this page)
- Clothing store
- Community Center
- Crafts store
- Dry cleaner / pick-up
- Financial service
- Flower / plant store
- Grocery
- Health club / Fitness center
- Ice cream shop
- Interior decorator / furniture store
- Jewelry
- Nursery school / Daycare
- Office - specialty
- Personal services
- Pet shop
- Pharmacy
- Plumbing
- Plant / tropic institution
- Real estate
- Retail shop
- Spa
- Sporting goods
- Specialty shop
- Dance studio / artist space

Residential

- Single Family Attached / Townhouse
- Single Family Detached
- Multi-family For Sale
- Multi-family For Rent
- Residential Lot's (over commercial)
- Accessory Apartments

Other

- Community Meeting Hall
- Pool (approx. 1,400 sq. ft.)
- Pavilions

Note: In the Village Center, off-street parking may be shared between uses. Parking lots and access drives may be owned by a Property Owners Association or an individual parcels with a common easement. Some uses may be located adjacent to the Village Center will be managed by the Association.

Land Use Plan

The Land Use Plan for the residential community includes a mix of lot sizes, building heights, and building styles. The plan also includes a mix of lot sizes, building heights, and building styles. The plan also includes a mix of lot sizes, building heights, and building styles.

A mix of residential types and building heights will be provided to create a vibrant and diverse community. The plan also includes a mix of lot sizes, building heights, and building styles.

The PMA, LSA and OSA are temporary standards to establish a path to long-term standards. The plan also includes a mix of lot sizes, building heights, and building styles.

1. Coverage Open Space shall be a minimum of 10% of total lot area.
2. Higher minimums (see page 10.2.1)
3. A minimum number of units shall not exceed 600

Overall Maximums and Minimums

Permitted Residential Density (includes Community Meeting Hall and a Maximum of 8,000 sq. ft. of Restaurant space)	36,400 s.f.
Total Unit Count Maximum	600 units
Open Space Minimum	20%

Number of Units per Product Type (not to exceed a total of 600)

Minimum Single Family Detached	240
Maximum Single Family Attached	170
Maximum Multi-Family	175
Maximum number of lots over Neighborhood Retail	30

Legend

- Single Family Detached - Single Attached
- Single Family Detached - Alley Access
- Single Family Attached - Alley Access
- Multi-Family
- Multi-Family Attached / Attached Units
- Community Meeting Hall (approx. 2,000 sq. ft.) (See page 10.2.1 for temporary rules of construction)
- Open Space
- Pool (approx. 1,400 sq. ft.)

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Image A: Fountain provides aeration and aesthetic appeal



Image B: Exemplifies and character of the Pavilion

Preserved Trees

Marked or inventoried trees to be preserved are shown in yellow. It is the intent of the design to preserve these trees. However, it will be the responsibility of the contractor to verify the location and condition of trees prior to construction. The site plan will include a tree location and preservation strategy. A tree preservation plan will be prepared for the site and submitted to the appropriate authorities.

Open Space Plan

Open space strategies will consist of village green, play area, landscaped park, pedestrian plaza, and wetland. Open space strategies will be integrated into the site plan, and will be designed to provide a high quality environment for the community. The site plan will include a tree location and preservation strategy. A tree preservation plan will be prepared for the site and submitted to the appropriate authorities.

Natural Area/Planting

The site plan will include a tree location and preservation strategy. A tree preservation plan will be prepared for the site and submitted to the appropriate authorities.

Landscaping Buffer

All landscaping will comply with the minimum requirements as stated in Section 11 of the Municipal Code. The site plan will include a tree location and preservation strategy. A tree preservation plan will be prepared for the site and submitted to the appropriate authorities.

Approximately 50' of TMA Easement is on property (See TMA Assessor's map and are included in permit for open space easement)

Tree Mass/Preserved Trees typical

Location of approx 1,400 sq ft pool with pavilion to be maintained by HOA



Legend

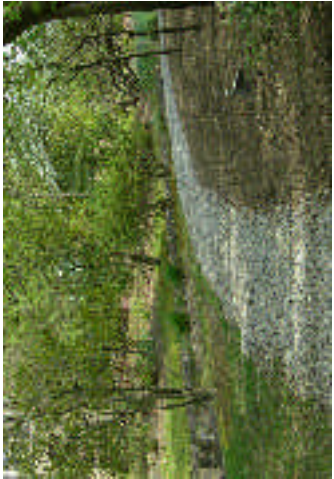
- Open Space
- Preserved Area
- Tree Mass/Preserved
- Pond
- Play Area/Structure



Murkerson, Tiesse



Minimum 5 ft. sidewalks will be provided on both sides of streets throughout neighborhood as exhibited in street sections, page 13-13



Recreation trails in the open space amenities allow for walking through existing, preserved trees.



Bike racks will be installed in the Village Center and park spaces to promote biking.

Pedestrian & Bike Circulation Plan

Public space areas will be provided throughout the development with a minimum of 3' wide sidewalks along streets (see street sections, page 13-13 and site plan). Street spaces will be bordered by sidewalks and/or trees. Pavement will be minimum of 3'-4" wide and composed of crushed stone or concrete to be required for load-bearing capability.

The Pedestrian Circulation Plan illustrates the minimum level of sidewalks and sidewalks that will be provided. This combination of sidewalk and mail system will offer access for pedestrian circulation throughout the site. Access to the park will be provided through the main thoroughfares that run through the park spaces (minimum of 1 boulevard per park area).

Signage for the Village Center, walkway and other park spaces will be provided to indicate the location of the Village Center as a destination for bicyclists to the park.

Note: Bicycle racks will be provided in the Village Center and other park spaces. The number of racks will vary and may be located in common open spaces, in which case will be provided and measured by the Home Depot Associates (HDA). Additional signage will be provided by the City of Huntsville a requirement and located in the City.



Bicycle Racks will be provided in the Village Center and in park areas (minimum 3 total).

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Street Hierarchy

All streets within Indigo are designed with a primary goal, by providing an efficient, safe, and convenient, informal, pedestrian parking, sidewalks and street trees, for an urban environment that is safe and efficient.

The structure of Indigo is designed to provide a hierarchy of streets, including, but not limited to, sidewalks, utility, and emergency vehicles. The streets are designed to provide a hierarchy of streets, including, but not limited to, sidewalks, utility, and emergency vehicles. The streets are designed to provide a hierarchy of streets, including, but not limited to, sidewalks, utility, and emergency vehicles. The streets are designed to provide a hierarchy of streets, including, but not limited to, sidewalks, utility, and emergency vehicles.

All streets will be designed to the City of Murfreesboro. Public works department will be responsible for all streets. All streets will be designed to the City of Murfreesboro. Public works department will be responsible for all streets. All streets will be designed to the City of Murfreesboro. Public works department will be responsible for all streets.

Kimbro Road

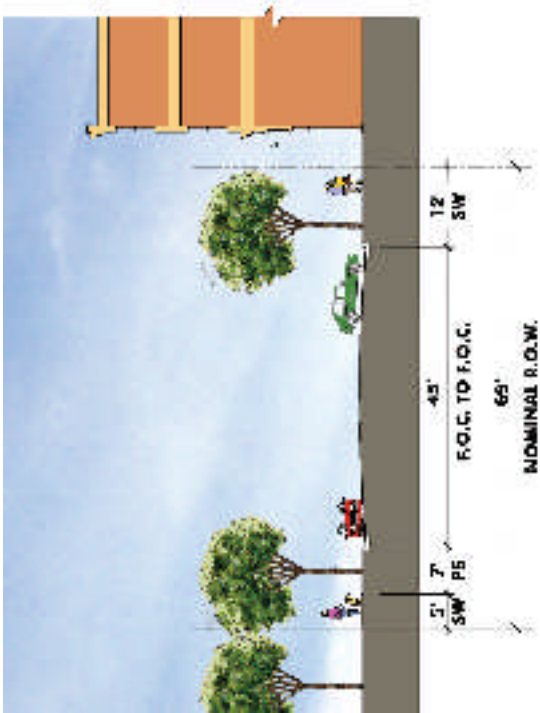
This road will be designed to the City of Murfreesboro. This road will be designed to the City of Murfreesboro. This road will be designed to the City of Murfreesboro. This road will be designed to the City of Murfreesboro. This road will be designed to the City of Murfreesboro.

Legend

- Kimbro Road
- Village Center Promenade
- Residential Avenue
- Residential Parkway
- Residential Street
- Residential Alley (Private)
- Residential Access Point



Murfreesboro, Tennessee



Village Center Promenade - Two way, parallel parking on one side with angled parking on other side



Residential Avenue - Two way, Parallel parking on both sides

Street Sections

The Village Center Promenade and Residential Avenue are designed for the maximum use of Indigo vehicle storage vehicles and make frequent traffic volumes are higher, and parking demands are greater. Street design parking is intended for both sides of the street with a shoulder on the inside of curbs.

Note: Because streets adjacent to a Major or open space, the roadway from the road may vary and may be located on common open space, in which case will be avoided and maintained by the Home Owner Association (HOA). Similarly, vehicle right-of-way will be coordinated with the City of Huntsville requirements and standards for the City.

It is recognized that new bus from the Suburban Loop will be necessary along with separate lot and ingress from bus stop of the development. This design along with coordination of parking will be closely coordinated with the City of Huntsville during design of Indigo.

Legend

F.O.C.	Face of Curb
PS	Parking Strip
R.O.W.	Right of Way
SW	Sidewalk

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Image of a typical parking in front of neighborhood retail in Murfreesboro, TN



Murfreesboro, Tennessee



Image from Houston, Texas - example of the amount of the amount of the amount



Residential Pavedside



Residential Street

Street Sections

Additional Streets are provided to facilitate access and circulation throughout the neighborhood. All residential streets will have different parking.

The Additional Pavedside streets will allow bicyclists to travel along the grassy areas in order to provide alternatives of water and fire hydrant access. The location of water and fire hydrants will be determined during the construction discussion and stormwater design process. Allowing alternative bicyclist to the curb is beneficial because it provides parking on the grassy areas which allowing for more stormwater infiltration in open spaces.

Note: Bicyclist access adjacent to a House or open space is provided only from the road way. It may vary and may be located on common open space, in which case will be covered and maintained by the Home Owner Association (HOA).



Image from Culbertson, FL - example of a pavedside curb along a grassy area.



Murphyboro, Tennessee

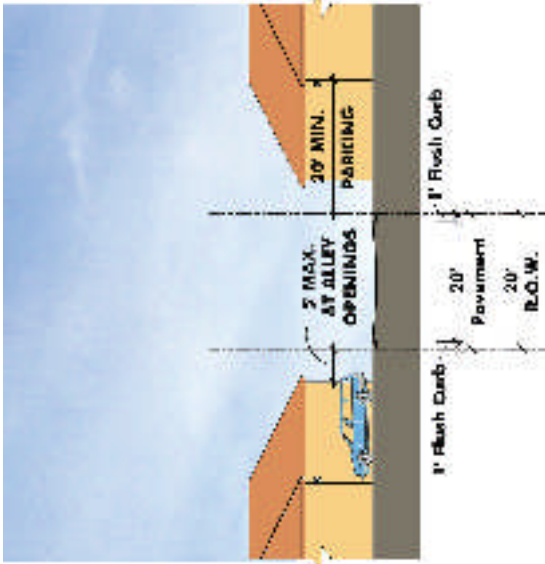


Image from Culbertson, FL - example of a traditional curb.

Legend

F.O.C.	Front of Curbside
PS	Pavedside
R.O.W.	Right of Way
SW	Setback

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Residential Alley

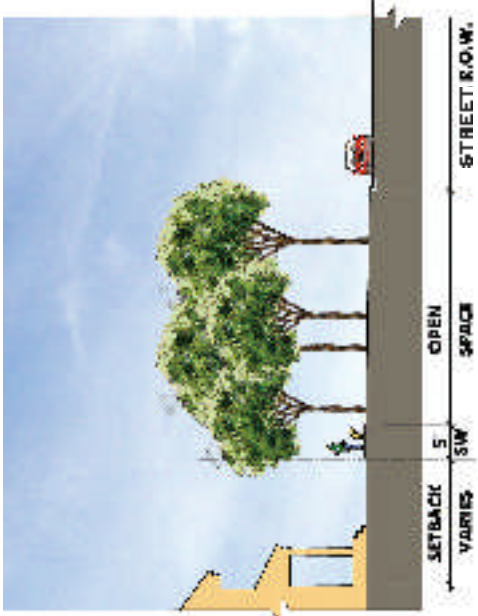
Note: No parking is allowed in the alley and will be enforced by the HOA.



Image from Curry Hill Village, MI - alley example.



Murlebore, The source



Street Setbacks

Additional steps are needed to provide for garage access to driveway driveway curb can be removed for solid vehicle pickup and for driveway vehicle access. All steps will be provided and enforced by the Home Owners Association (HOA). No parking will be allowed in alley. The HOA is required to enforce no parking areas on driveway and/or HOA property.

The Home Condition is a narrow parking space which provides access directly from the HOA. The HOA is required to enforce no parking areas on driveway and/or HOA property. The HOA is required to enforce no parking areas on driveway and/or HOA property.

Home Condition

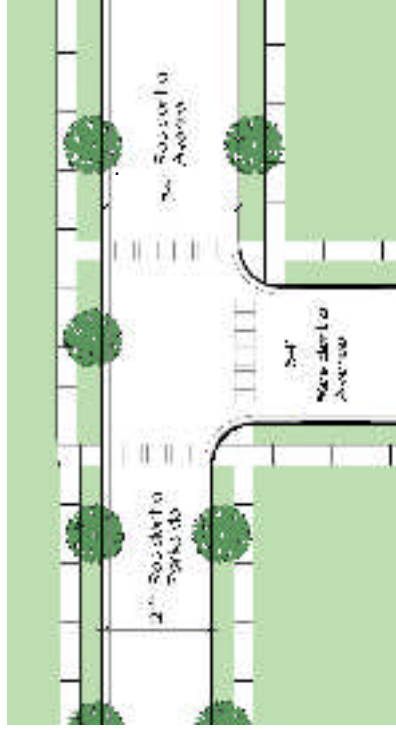


Image from Enclave in Phoenix, AZ - example of a Home Condition.

Legend

HOA	HOA of Curb
IS	Planning Step
R.O.W.	Right of Way
SW	Setback

Diagram A: Example Street Transition



இதரத் திட்டத் திட்டம்

In residential districts, a boulevard is a critical component. Street boulevards typically will show traffic pedestrian and bicycle facilities. The street also shows a commercial service and commercial vehicle. These diagrams illustrate how our street boulevards are designed to all components of service. Vehicles and we will continue working with the Department of Planning, the Department of Public Works and the City of Huntington Beach to address all components. The boulevard should be designed to be a green boulevard and encourage. During engineering, each street and boulevard will be designed to be a boulevard by boulevard boulevard of all components.

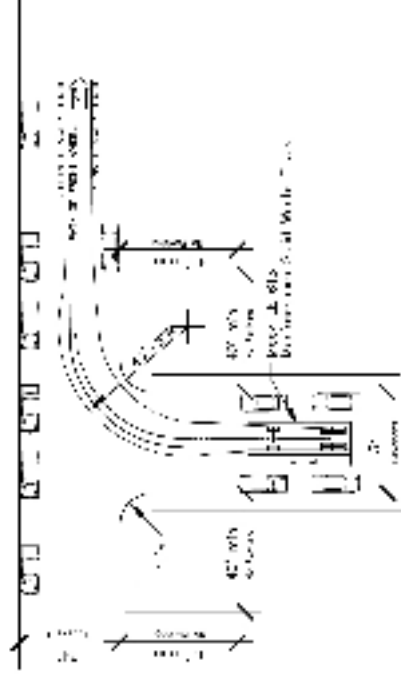
Diagram A - Example of Street Transition

This diagram illustrates the boulevard transition from a boulevard to a boulevard. A boulevard is a boulevard for boulevard boulevard boulevard. Each boulevard will be designed to be a boulevard and appropriate traffic flow during engineering.

Diagram B - 34' Street T Intersection

This diagram illustrates the 34' boulevard transition from a boulevard to a boulevard. A boulevard is a boulevard for boulevard boulevard boulevard. Each boulevard will be designed to be a boulevard and appropriate traffic flow during engineering.

Diagram B: 34' Residential Avenue T Intersection



Lighting

Site lighting shall be of high quality, durable, durable, appropriate for a suburban scale, and intended to provide a level of security necessary for safety. Security shall be accomplished through a combination of elements:

1. Illumination levels at the property line shall be adjusted to meet the needs of the surrounding area. Lighting shall be provided to the property line at a level that is not excessive. All other areas shall be illuminated to meet the needs of the surrounding area.

The most preferred lighting shall be of a type that is aesthetically pleasing and appropriate to the surrounding area. Lighting shall be of a type that is aesthetically pleasing and appropriate to the surrounding area. The most preferred lighting shall be of a type that is aesthetically pleasing and appropriate to the surrounding area.

Fixtures are to be of a type that is aesthetically pleasing and appropriate to the surrounding area. Fixtures are to be of a type that is aesthetically pleasing and appropriate to the surrounding area.



MurfEBBERS, The name

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Village Center Signage

Commercial signage shall be of high quality design materials and construction and shall be sited appropriately to the character of the architecture. It is not to be sited in a way that is visually distracting or that detracts from the overall quality of the development. All signage will be reviewed prior to installation to ensure the design complies with the Orange Guidelines and signage shall not include the City of Hummelstown's name or logo.

In addition to meeting the City of Hummelstown's Signage Ordinance, all signs will be subject to special Orange Guidelines governed by the Property Division. Additional, various village guidelines will be provided to all commercial signers.

Signs are to be placed in a way that is visually appealing and does not detract from the quality of the development.

Entry Signage

Signage for a retail or service building is required by the state and local codes. In addition to the Village Center, the project, a minimum of one sign is required. The sign will be necessary to identify the project, distinguish it from other projects in the area and will clearly denote the name, location, and hours of operation.



Murfreesboro, Tennessee



Village Center Buildings

Location: Village Center Buildings are intended to serve the neighborhood with retail, restaurant, office and residential uses. Ground floor should have storefronts along all street fronts. (Minimum: Gray Court and Community uses, ground floor are designed in a minimal, village scale with residential or civic character).

Permitted Land Uses: Refer to the Local Use Map for a list of permitted uses. Up to two (2) stories of residential lots shall be permitted above ground floor retail or office uses located in the Village Center (Maximum 50 feet).

Min. lot area: 10,000 sq. ft.
 Min. lot width: 100 feet
 Min. lot depth: 100 feet

Front Building Zone: Front building directly front the public right of way located along Kessler Road (north-south), a maximum of 20% of the front facade may be built to within 6 feet of the right-of-way line.

Min. lot area: 10,000 sq. ft.
 Min. lot width: 100 feet
 Min. lot depth: 100 feet

Maximum Height: 5 stories / 45 ft. top of parapet for first floor, / 45 ft. no more height of roof for second floor (measured as 1/2 the normal distance between the curb and rear roof peak).

Min. lot area: 10,000 sq. ft.
 Min. lot width: 100 feet
 Min. lot depth: 100 feet

Public Spaces: As required per Section 20 (Open Space) of the Municipal Code. The number of required parking spaces for all uses will comply with Section 20, Chapter of the Municipal Code. Existing On-street, On-street parking may cover up to 10% of the parking requirements.

Cyclist Parking: Location: On-street parking shall be located on the side of the street (not on the sidewalk) or in the rear of building. Access should be maintained and a maximum of two (2) three levels only.

EVAC rules: Located on the roof of building per a applicable codes and permit per the authority of the jurisdiction.

Water table: Superior water table shall be used, none sold or sold. If any table is only to be used as a secondary water table, it shall be used for a maximum of 10% of the total water supply. All table installation shall be done in accordance with the applicable codes and permit per the authority of the jurisdiction.

Design Review: All buildings shall be subject to a Design Review Board and/or a Town Architect, who will review all applications, to ensure high level of quality design for the village center and provide development.

Materials: All materials used in the building shall be of high quality and quality of the building shall be maintained.



Murkerson, Thompson



Multi-Family Building

Notes: Multi-family buildings are reserved to provide a opportunity for a variety of user types within the community. These units may be for sale or for rent. The units may be single or multi-level. The units should accommodate building types such as duplexes, or other accessory buildings directly support the building team.

- All units: Lot Area: 11 one.
- All units: Lot Depth: 11 one.
- All units: Lot Width: 11 one.
- Front Yard Setback: 5 ft.
- Rear Yard Setback: 5 ft.
- Side Yard Setback: 5 ft.
- Height: 30 ft. maximum height of roof.
- Use: Residential.

Off-Street Parking: Off-street parking shall be located on the rear or side of the building. Access shall be provided for a minimum of one parking space for every one hundred (100) square feet of building area. Off-street parking shall be located on the rear or side of the building. Access shall be provided for a minimum of one parking space for every one hundred (100) square feet of building area. Off-street parking shall be located on the rear or side of the building. Access shall be provided for a minimum of one parking space for every one hundred (100) square feet of building area.

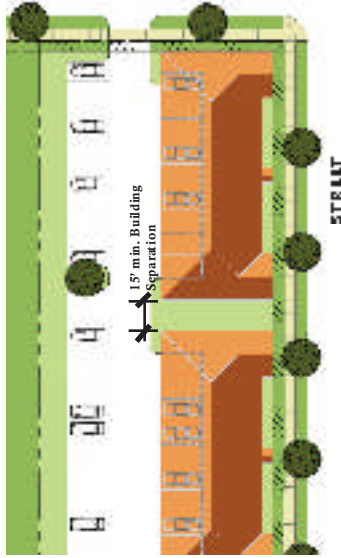
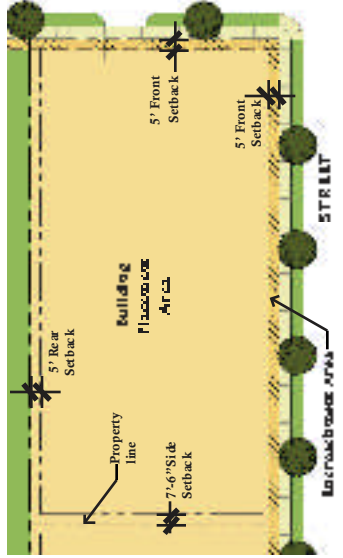
Front Yard Setback: 5 ft. maximum height of roof. Use: Residential. All units: Lot Area: 11 one. All units: Lot Depth: 11 one. All units: Lot Width: 11 one. Front Yard Setback: 5 ft. Rear Yard Setback: 5 ft. Side Yard Setback: 5 ft. Height: 30 ft. maximum height of roof. Use: Residential.

Off-Street Parking: Off-street parking shall be located on the rear or side of the building. Access shall be provided for a minimum of one parking space for every one hundred (100) square feet of building area. Off-street parking shall be located on the rear or side of the building. Access shall be provided for a minimum of one parking space for every one hundred (100) square feet of building area.

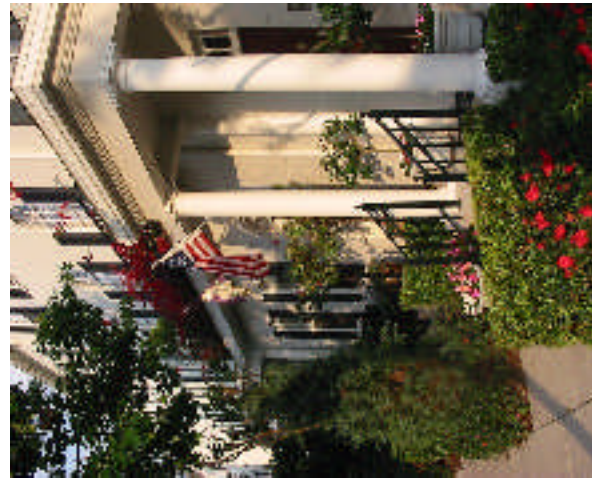
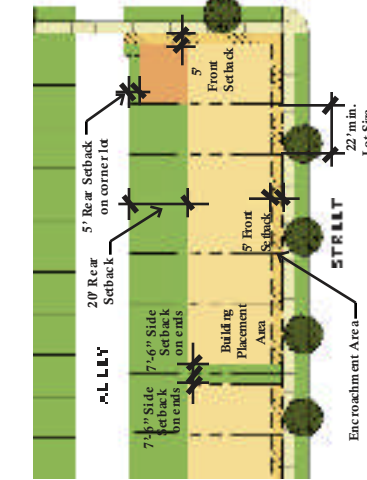
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Manchester, Tennessee



Single Family Attached Lots - Alloy Proceeds

To meet the Single Family Attached Lots are recorded on a dedicated simple lot for 2-story attached multi-unit with one or more units attached.

- All attached Lot Area: 1,500 sq. ft.
- All attached Lot Depth: 110 ft.
- All attached Front Yard Setback: 5 ft.
- All attached Side Yard Setback: 0 ft. (11 ft. for one end unit)
- All attached Rear Yard Setback: 20 ft. with the exception of 3 ft. build to setback on corner lots. Corner lots are treated as corner lots.

Multi-story attached, corner lots are treated as corner lots with the exception of 3 ft. build to setback on corner lots. Corner lots are treated as corner lots with the exception of 3 ft. build to setback on corner lots.

Front Yard Setback: 5 ft. (all units), 3 ft. (all units for bay windows (located between shall be defined as a 3-livable minimum area setbacks of party window, porch, roof or other app, balcony, terrace, canopy, and associated outdoor appurtenances). 20 ft. for rear yard setbacks shall be subject to all applicable codes and ordinances of the City.

Building Separation: 15 ft. min., including any concrete driveways, patios, and concrete. See applicable A-11 for full text.

Maximum Height: 3 stories, 45 ft. in maximum height of roof Parapet Space: The total number of different parking spaces shall not exceed 50 (50) for a row of 50 units.

Maximum Storage: Storage shall be located in an attached garage or detached garage, and shall be located on the lot.

Off-street Parking: Off-street parking and garage spaces shall be located on the lot.

Two parking spaces shall be located adjacent to the building on each side.

Public Use: Common outdoor patios are allowed between buildings to provide outdoor common backyards.

Trucks may be stored on the lot with concrete apron or other similar surface.

HVAC units: Located per applicable codes and install per manufacturer's recommendations. Units shall be located on the rear of a lot. The specific placement of the HVAC units shall be subject to approval by the City.

Water and Sewer: Sewer and water shall be located on the lot. The sewer line shall be located on the lot. The water line shall be located on the lot.

Other: Other provisions shall be subject to the City's approval.

Final: Final approval shall be subject to the City's approval.

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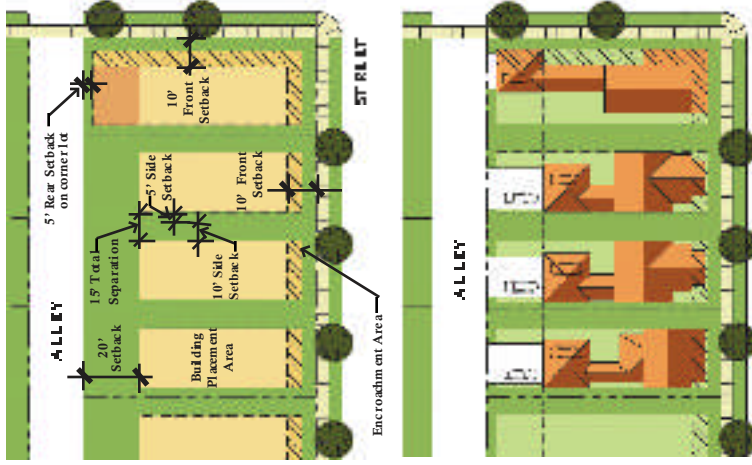
Final: Final approval shall be subject to the City's approval.

Final: Final approval shall be subject to the City's approval.

Murfreesboro, Tennessee

01.16.08

Approved by City Council



Single Family Detached Lots - Alley Easements

Notes: The owner of single family (alley access) lots is to provide access to the alley from the front of the lot, which means the owner is to provide access to the alley from the front of the lot.

01 Minimum Lot Area: 4,000 sq. ft.

01 Minimum Lot Width at Front Setback: 40 ft.

01 Minimum Lot Depth: 100 ft.

01 Minimum Front Yard Setback: 10 ft.

01 Minimum Side Yard Setback: 5 ft or 10% ratio of height, 15 ft, per side for a minimum 15 ft building setback. See Appendix A-1 for illustration.

01 Minimum Rear Yard Setback: 20 ft with the exception of 5 ft for a garage building on corner lots. Garage on parallel streets shall be built at 5 ft from rear car property line to the alley opening area.

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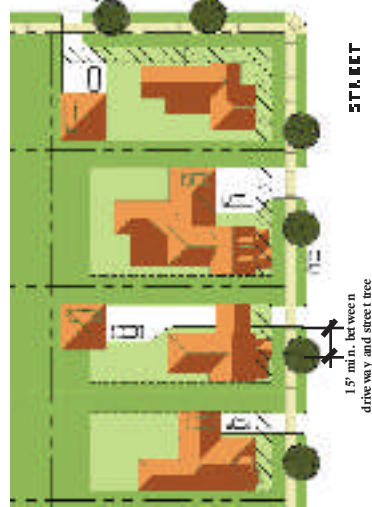
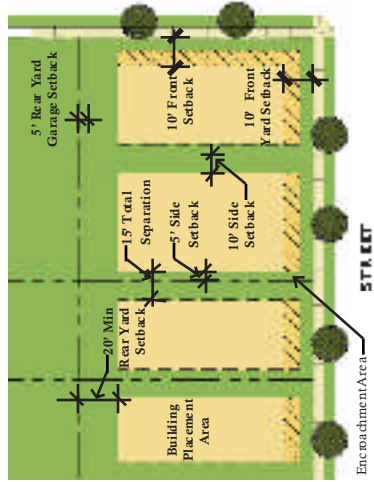
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Murkerson, The name

01.16.08

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Single Family Detached Lots - Street Elevation

- The rear of single family (single stories) lots is to differ slightly to single family homes with 2 story back yards.
- All setbacks Lot Area: 2,000 sq. ft.
- All setbacks Lot Width as Front Setback: 50 ft.
- All setbacks Lot Depth: 100 ft
- All setbacks Front Yard Setback: 10 ft. (garage must be setback a minimum of 14 ft. from the front lot)
- All setbacks Side Yard Setback: 5 ft. (0 ft. setback on lot 15 ft. per side for no other 15 ft. building setback area)
- All setbacks Rear Yard Setback: 10 ft. for primary structure, 5 ft. for detached garage.
- Front Yard Encroachments: 3 ft. above oak, 3 ft. allowed for bay windows (detached areas shall be detached a 3 ft. allowable overhang over setbacks for oak, acacia, arbor, oak, nutmeg, birch, sycamore, or maple and associated culture supports). Side and rear yard encroachments shall be subject to all applicable codes and ordinances of the City of Murfreesboro.
- Maximum Height: 3 stories, 45' to the height of roof Parapet Space: The required number of different garring spaces shall meet or exceed Section 16.03.01 of the Murfreesboro Zoning Ordinance. Garage attachments shall be covered rearward facing garage parking requirements
- Driveway: 10' minimum width at the front property line. Smaller lots for homes with front access drive shall be no less than 10 ft. wide, concrete, 20 ft. wide, with 15' min. driveway beyond driveway and driveway.
- HVAC units: Locate per applicable codes and install per manufacturer's recommendations. Units shall be located on the rear side of a lot. The placement of the HVAC from setbacks for each unit will be dictated by the Orange County Board
- Windows: Window units shall be built, sized and/or sized. Windowing is only to be used as a secondary material for windows. There shall be no following requirements to windowing:
 - All windowing shall be in accordance with all applicable codes and ordinances of the City of Murfreesboro.
- Design Notes: All designs shall be in accordance with all applicable codes and ordinances of the City of Murfreesboro, as well as the Orange County Board and/or a Town Ordinance, which will require all design, to a certain level of quality design for all new construction and renovation developments.
- Plans on this page are intended to illustrate the general character, style, and quality of the building proposed.



Murfreesboro, Tennessee

Phasing Plan

Site 8 will. Development MEC anticipates construction of the development in eight phases over a span of eight to ten years. The time period for each phase is determined by the schedule of the PID and subsequent the engineering process and approvals.



Legend

Phase 1
Phase 2
Phase 3
Phase 4
Phase 5
Phase 6
Phase 7
Phase 8



Murlebore, Tennessee



This view is characteristic of the development and captures the integration of various residential product types.

உகைத்து வெளிப்பு:

Final site plan and construction documents submitted and review shall be in accordance with the City of Murfreesboro regulations. In addition, Narrative Comments will follow the development and review of the Property Owners Association will be formed. Specific Design Guidelines will be developed to address the following:

- Special facade treatments
- Appropriate architectural treatment
- Porch details
- Material, panels and colors
- Windows, shutters and doors
- Columns, cornices and roofs
- Garage design and finished job exterior
- Fencing and walls
- Yard design
- Landscaping
- Signage
- HVAC job exterior

The intent of the Design Guidelines is the creation of a community that is a mix of architectural, cultural, design and variety of the existing, selected blending of architectural and historic treatments.

A City of Murfreesboro Board and/or Town Architectural review and review all buildings and landscaping to be consistent with the City of Murfreesboro and Design Guidelines. LUX is the designated firm who will provide the Town Architectural review. The Town Architectural will be a registered Architect and will review all jobs prior to submitting to the City.



Murfreesboro, Tennessee

Indigo: Deviations from Zoning and Standard Street Specifications

In accordance with Section 15, 16, 17, 18, 19, 20 and Section 15, 16, 17, 18, 19, 20 of the City of Murfreesboro Zoning Ordinance, the following deviations are requested from the Zoning Ordinance and Standard Street Specifications of the City of Murfreesboro for the proposed development.

Section 2 Deviations: The following deviations shall be maintained for the purposes of the Indigo P.U.C. document:

Alley: Deletion and deletion to be public. Indigo alley is not.

Lot: Indigo, in the Deviations map of the Indigo P.U.C. document, shall be amended to include a "lot" as shown in the attached map.

Lot Line: Lot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

Yard: Deletion and deletion to be public. Indigo alley is not.

Additional Deviations:

Hours: A permit for signage shall be required for the Indigo P.U.C. document.

Section 26 Temporary and Accessory Structures and Uses

(A) (1) and (1)(b) shall be amended to allow for the use of temporary structures and uses. The minimum lot area shall be amended to allow for the use of temporary structures and uses. The minimum lot area shall be amended to allow for the use of temporary structures and uses.

Section 26 Off-Street Parking and Loading

Off-street parking shall be required for the Indigo P.U.C. document. Off-street parking shall be required for the Indigo P.U.C. document.

Section 27 Landscaping and Screening

Landscaping and screening shall be required for the Indigo P.U.C. document. Landscaping and screening shall be required for the Indigo P.U.C. document.

(A) (1) and (1)(b) shall be amended to allow for the use of temporary structures and uses. The minimum lot area shall be amended to allow for the use of temporary structures and uses. The minimum lot area shall be amended to allow for the use of temporary structures and uses.

Class 1 Use Permitted

Use permitted shall be as permitted on page 9 of the Indigo P.U.C. document.

Class 2 Use and Yard Requirements, and Land Use Inventory Table

Use and yard requirements, and land use inventory table, shall be as permitted on page 9 of the Indigo P.U.C. document.

City of Murfreesboro Standard Service Specifications

Standard service specifications shall be as permitted on page 12-16 of the Indigo P.U.C. document. Standard service specifications shall be as permitted on page 12-16 of the Indigo P.U.C. document.

Additional Deviations shall be as permitted on page 10 of the Indigo P.U.C. document.



Murfreesboro, Tennessee

01.16.08

Staff: 1999 and 2007 Appendix A - 1



Single Family Attached Lots

Illustration above shows 15 ft building separation



Single Family Detached Lots - Alley Access

Illustration above shows 15 ft building separation



Murkerson, Tiesman

01.16.08

Appendix A - II