

LINE	LENGTH	BEARING
L1	50.41	N85°28'39"W
L2	20.00	N83°29'12"W
L3	53.13	N85°28'39"W
L4	44.76	N83°29'12"W
L5	15.53	N101°8'36"E
L6	45.00	N89°40'08"E
L7	50.00	N79°46'20"W
L8	50.00	N79°46'20"W

CURVE	LENGTH	RAIUS	DELTA	CHORD	CHORD BEARING
C-43	313.82	510.00	35°15'22"	305.89	S89°25'07"W
C-44	283.05	460.00	35°15'22"	278.61	S83°24'27"W
C-45	39.24	25.00	89°58'13"	35.34	S83°14'27"E
C-46	39.30	25.00	90°03'42"	35.37	S90°45'33"W
C-47	37.80	25.00	89°58'13"	34.30	S82°02'48"E
C-48	198.27	1200.00	9°28'00"	198.04	N89°13'12"W
C-49	132.86	1250.00	6°05'40"	133.90	N86°32'02"W
C-50	338.84	225.00	88°17'08"	307.72	N53°22'14"E
C-51	338.84	225.00	88°17'08"	239.34	N53°22'14"E
C-52	283.54	175.00	88°17'08"	239.34	N53°22'14"E

- EAST NOTES**
- It is the responsibility of each residential builder to design and construct a suitable grading and drainage scheme which will convey surface water, without ponding in the lot or under the building, to the drainage system constructed by the subdivision developer.
  - Parcels may be subject to additional easements, and/or restrictions, such as a complete title search.
  - Public utility and drainage easements where shown hereon are not intended to constitute a conveyance of public utility and drainage easements, but are limited to, sanitary sewers, forcemains, water lines, telephone signal conductors, electric conductors, drainage pipes, and other utility lines.
  - In Tennessee, it is a requirement per The Underground Utility Damage Prevention Act that anyone who engages in excavation three or more than ten working days of their intent to excavate, shall obtain a permit from the County Register. A list of these utilities may be obtained from the County Register's office. The permit shall be obtained from the County Register. Call system can be notified by calling toll free 1-800-351-1111. The soil types and locations shown hereon are taken from a soils map and are not intended to constitute a conveyance of the soils map and are not intended to constitute a conveyance of the soils map and are not intended to constitute a conveyance of the soils map.
  - Stake Engineering, Inc. assumes no responsibility for the occupancy of the site and surrounding parcels are zoned R-15 per the zoning ordinance.
  - Permit or temporary soil stabilization shall be applied to denuded areas within 15 days after final grade is reached on any portion of the site and shall remain in place until the site is stabilized.
  - Proprietary material and/or equipment shall be protected from theft (undisturbed) for longer than 60 days.
  - Disturbance by installing perimeter controls such as sediment basins, measures, dikes, or siltation basins, or by a construction of such nature, shall be permitted.
  - Areas within subdivision defined as roadway or sidewalks shall be maintained in accordance with applicable standards.
  - No fill material, rubbish, or building may be placed in any natural drainage system or water stream or floodwaterground stream or other natural drainage system.
  - The driveway for Lots 1 and 5 shall access Triple Crown Drive only.
  - Lot 1 and 5 shall be subject to the subdivision plat.
  - The subdivision shall be subject to the subdivision plat.
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**CERTIFICATE OF OWNERSHIP AND DEDICATION**

I, hereby certify that I am (we and) the owner(s) of the property shown and described herein and that I (we) hereby adopt this plan of subdivision with my (our) free consent, and that the minimum lot area, area, and other open spaces to public or private use as noted.

Date: \_\_\_\_\_ 2005

Record Book: 488

Page: 1515

OWNER: NEW SOUTH DEVELOPMENT II, LLC

**CERTIFICATE OF ACCURACY**

I, hereby certify that the plan shown and described herein is true and correct survey to the accuracy required by the Tennessee County and Tennessee Planning Commission and that the monuments have been established in accordance with the requirements of the County and the Commission of the City Engineer.

Date: \_\_\_\_\_ 2005

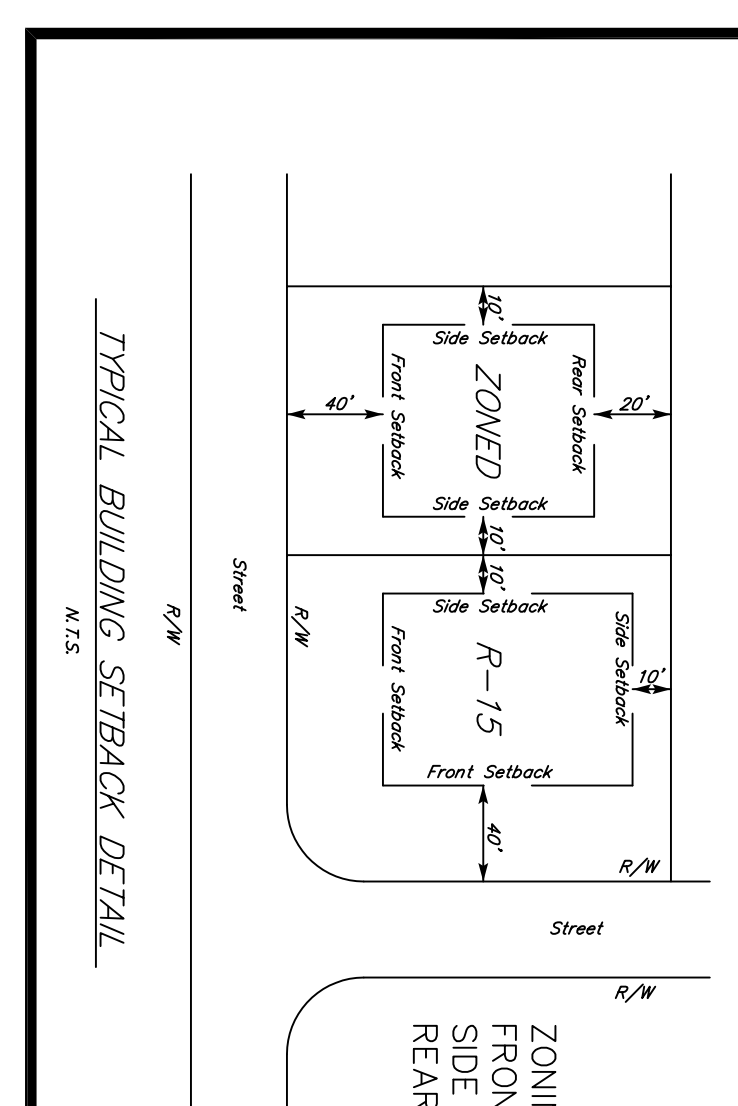
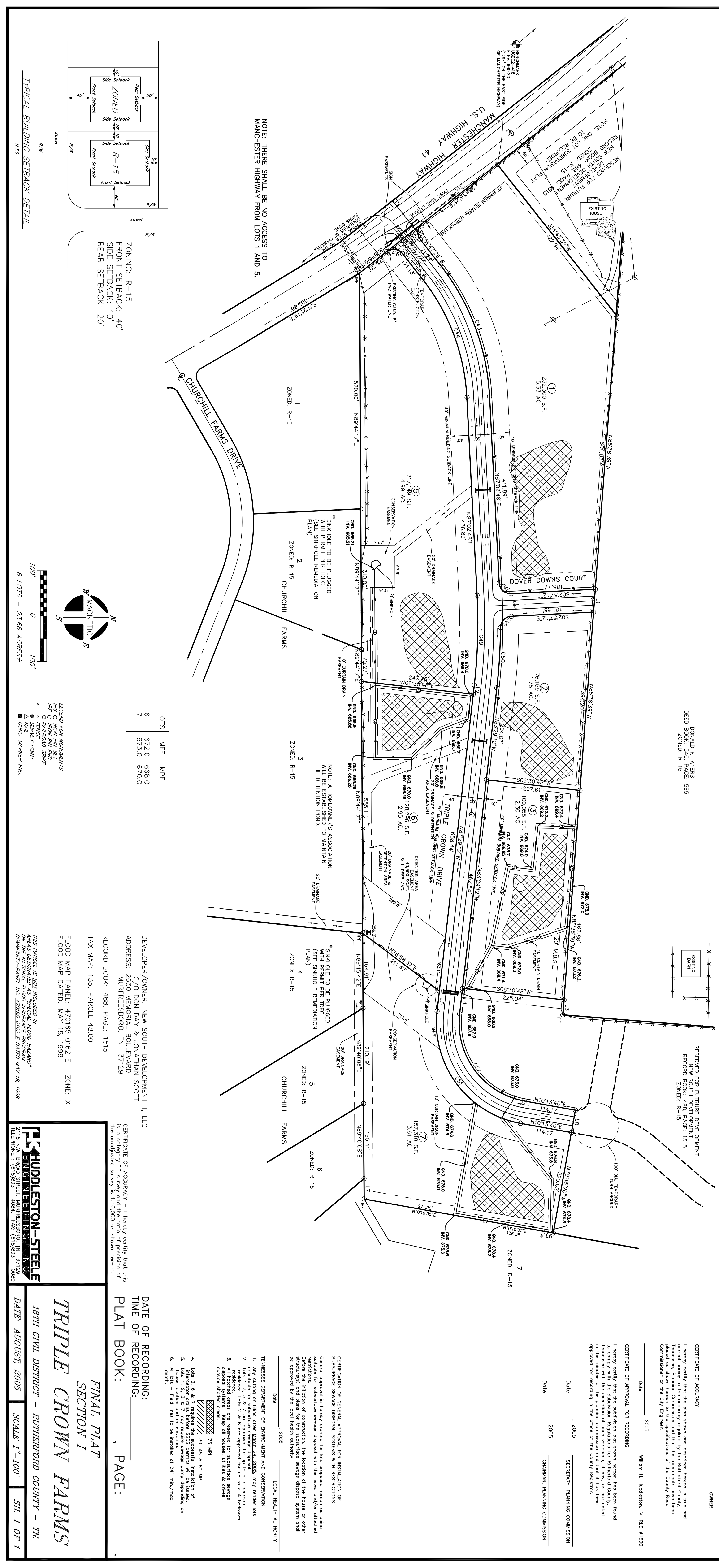
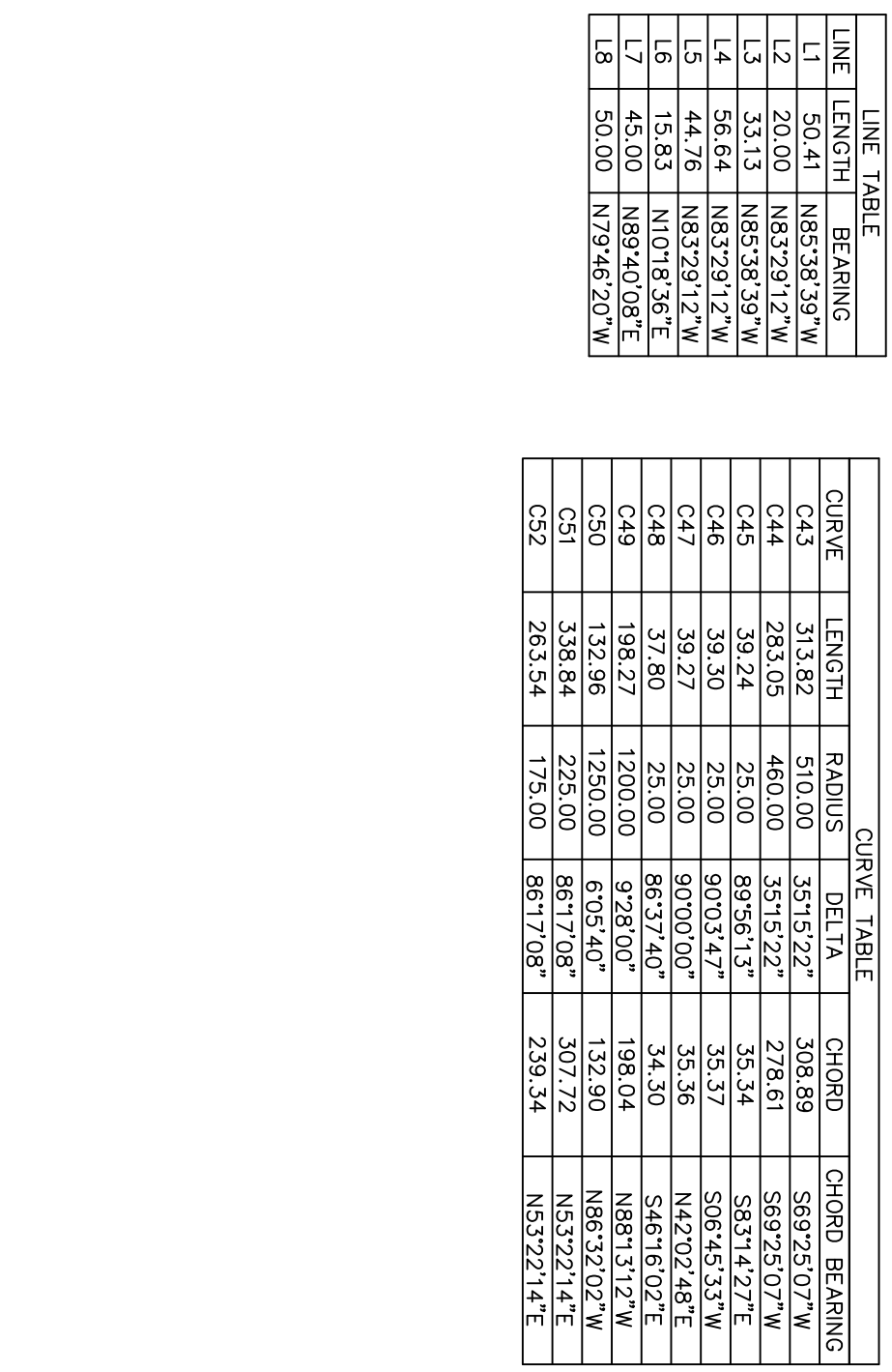
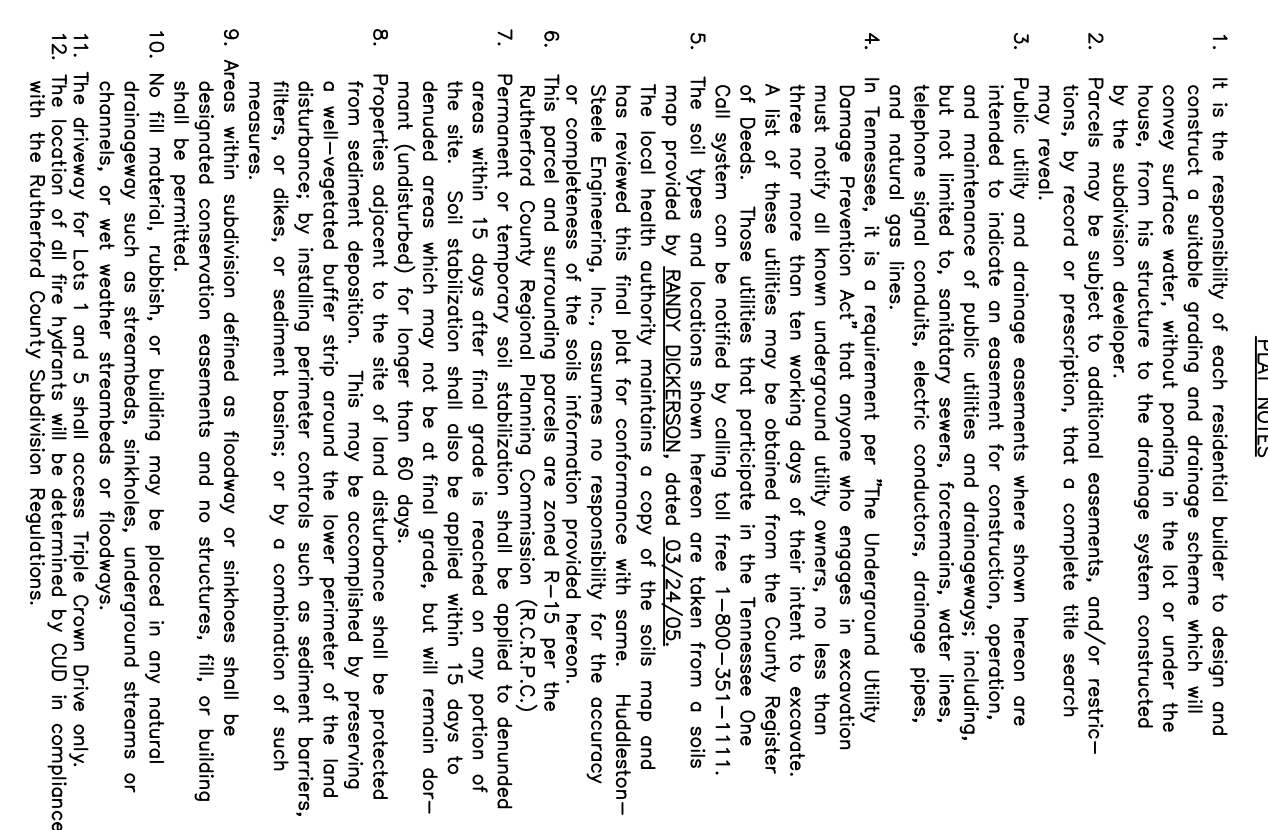
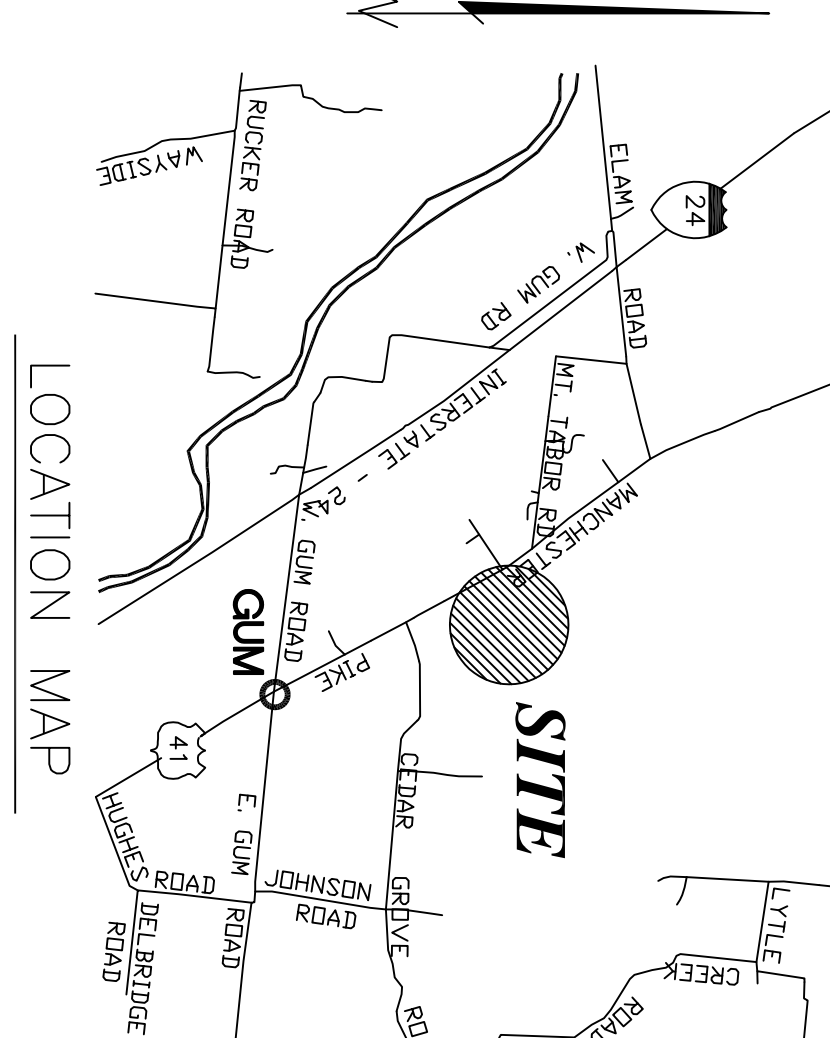
OWNER: William H. Huddleston, IV, RLS #1830

**CERTIFICATE OF APPROVAL FOR RECORDING**

I, hereby certify that the subdivision plat shown hereon has been found to be in accordance with the requirements of the Tennessee County and Tennessee Planning Commission and that the monuments have been established in accordance with the requirements of the County and the Commission of the City Engineer.

Date: \_\_\_\_\_ 2005

SECRETARY, PLANNING COMMISSION: CHARLANN PLANNING COMMISSION



**NOTE: THERE SHALL BE NO ACCESS TO MANCHESTER HIGHWAY FROM LOTS 1 AND 5.**

ZONING: R-15  
 FRONT SETBACK: 40'  
 SIDE SETBACK: 10'  
 REAR SETBACK: 20'

LOTS	MFE	MFE
9	672.0	668.0
7	673.0	670.0

**LEGEND FOR MONUMENTS**

- BALANCED STAKE
- IRON PIN NAIL
- ▲ SURVEY POINT
- ▲ WALL MARKER PND
- ▲ CONC. MARKER PND

**DEVELOPER/OWNER:** NEW SOUTH DEVELOPMENT II, LLC  
**C/O:** DON DAY & JONATHAN SCOTT  
**ADDRESS:** 2630 MEMORIAL BOULEVARD  
 MURFREESBORO, TN 37129  
**RECORD BOOK:** 488, PAGE: 1515  
**TAX MAP:** 135, PARCEL 48.00  
**FLOOD MAP PANEL:** 470165 0162 E ZONE: X  
**FLOOD MAP DATED:** MAY 18, 1998

**CERTIFICATE OF ACCURACY - 1** hereby certify that this is a category "1" survey and the ratio of precision of the undisturbed survey is 1:10,000 as shown hereon.

**DATE OF RECORDING:** \_\_\_\_\_, PAGE: \_\_\_\_\_  
**TIME OF RECORDING:** \_\_\_\_\_, PAGE: \_\_\_\_\_  
**PLAT BOOK:** \_\_\_\_\_, PAGE: \_\_\_\_\_

**FINAL PLAT**  
**SECTION I**  
**TRIPLE CROWN FARMS**  
 18TH CIVIL DISTRICT - RUTHERFORD COUNTY - TN.  
 DATE: AUGUST, 2005 SCALE 1"=100' SH 1 OF 1

**CERTIFICATION OF GENERAL APPROVAL FOR INSTALLATION OF SUBSURFACE SEWAGE DISPOSAL SYSTEMS WITH RESTRICTIONS**

General approval is hereby granted for lots proposed hereon as being suitable for subsurface sewage disposal with the labeled and/or attached restrictions. Inclusion of construction, the location of the house or other structure(s) and plans for the subsurface sewage disposal system shall be approved by the local health authority.

Date: \_\_\_\_\_ 2005

LOCAL HEALTH AUTHORITY: \_\_\_\_\_

**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION:**

- Any calling or filing after March 24, 2005, may render this certificate void.
- Underlying lot area for subsurface sewage disposal shall be a 5 bedroom residence. Lots 2 & 6 are approved for up to a 4 bedroom disposal system. Keep all houses, utilities & drives within the lot boundaries.
- Lot 3, 6 & 7 require the successful installation of an interceptor piping before SSSS permits will be issued.
- House location and/or elevation shall be as shown on the plat.
- All lots - Field lines to be installed at 24" min./max. depth.